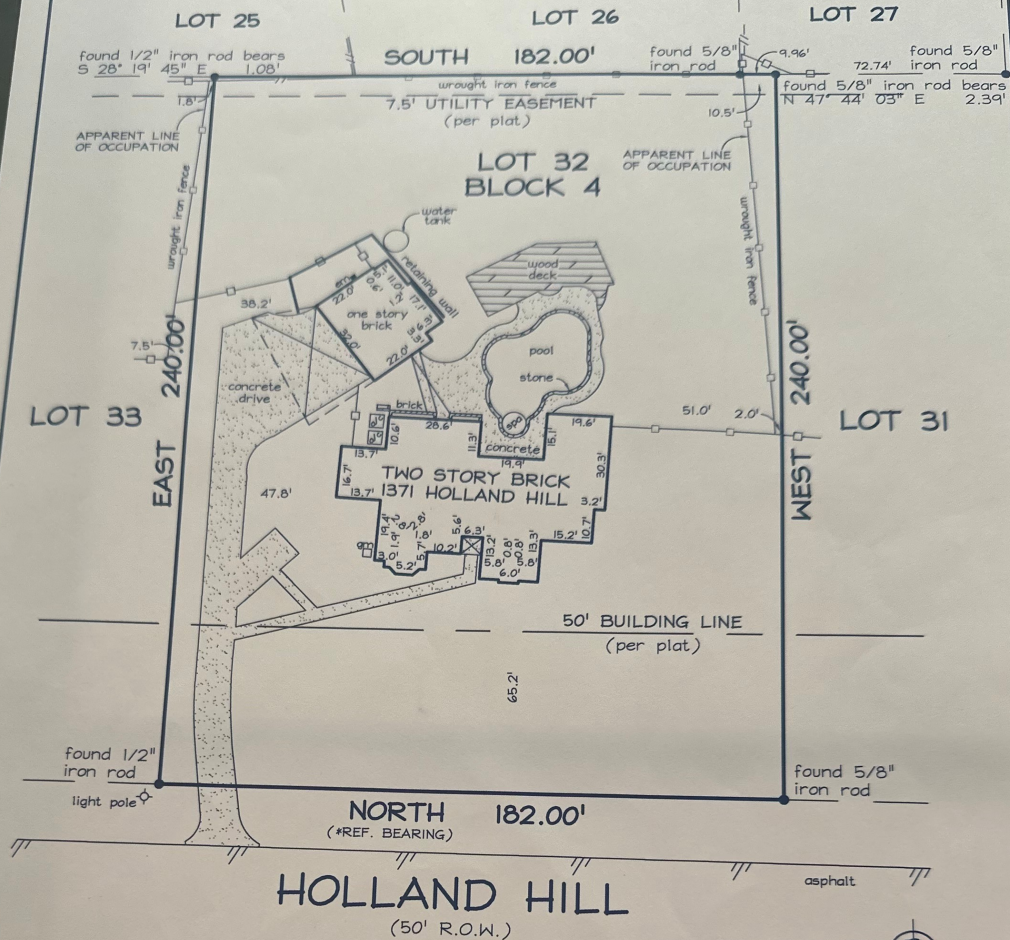




NOTES:

BEARINGS ARE BASED ON PLAT.

THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK.

THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 1371 HOLLAND HILL, and Being Lot 32, Block 4 of Cross Timbers Hills Phase-III, an Addition to the City of Southlake, Tarrant County, Texas, according to the Plat thereof recorded in Volume 388-170, Page 78, Plat Records, Tarrant County, Texas.

There are no visible conflicts or protrusions, except as shown.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48439C0185 H, dated AUGUST 2, 1995. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the hereon named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title commitment under the GF number shown hereon, provided by the title company named hereon and that this date the easements, rights-of-way or other locatable matters of record of which the undersigned has knowledge or has been advised are as shown or noted hereon.

ACCEPTED BY:

DATE:

DATE: 01/15/03

FIELD DATE: 01/10/03

REVISED:

JOB NO: 303-0120

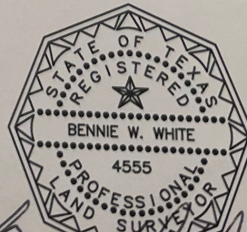
TECH: JJ

MAPSCO NO: 25-A

FIELD: TP

AMERICAN TITLE COMPANY

GF NO. 2002 GR 714859-C



Registered Professional Land Surveyor

PLS

Precise Land
Surveying, Inc.

T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT

Date: November 4, 2025 GF No. _____
Name of Affiant(s): Jeffrey Miller, Terrie Miller
Address of Affiant: 1371 Holland Hill, Southlake, TX 76092
Description of Property: Lot 32, Block 4, Cross Timbers Hills
County Tarrant, Texas
Date of Survey: 1/15/03

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas personally appeared Affiant(s) who after by me being duly sworn, stated:

1. I am an owner of the Property. (Or state other basis for knowledge by Affiant of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. I am familiar with the property and the improvements located on the Property.
3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of my actual knowledge and belief, since Date of the Survey, there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, deckings, or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):

additional
patio + steps to back, pergola, built in barbeque + grill

5. I understand that Title Company is relying on the truthfulness of the statements made in this Affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. I understand that I have no liability to Title Company should the information in this Affidavit be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.

I declare under penalty of perjury that the foregoing is true and correct. Signed: <u>Jeff Miller</u> Affiant	I declare under penalty of perjury that the foregoing is true and correct. Signed: <u>Terrie Miller</u> Affiant
---	---

SWORN AND SUBSCRIBED this 4 day of November, 2025

Julie Denton
Notary Public

