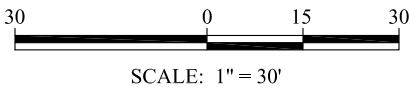
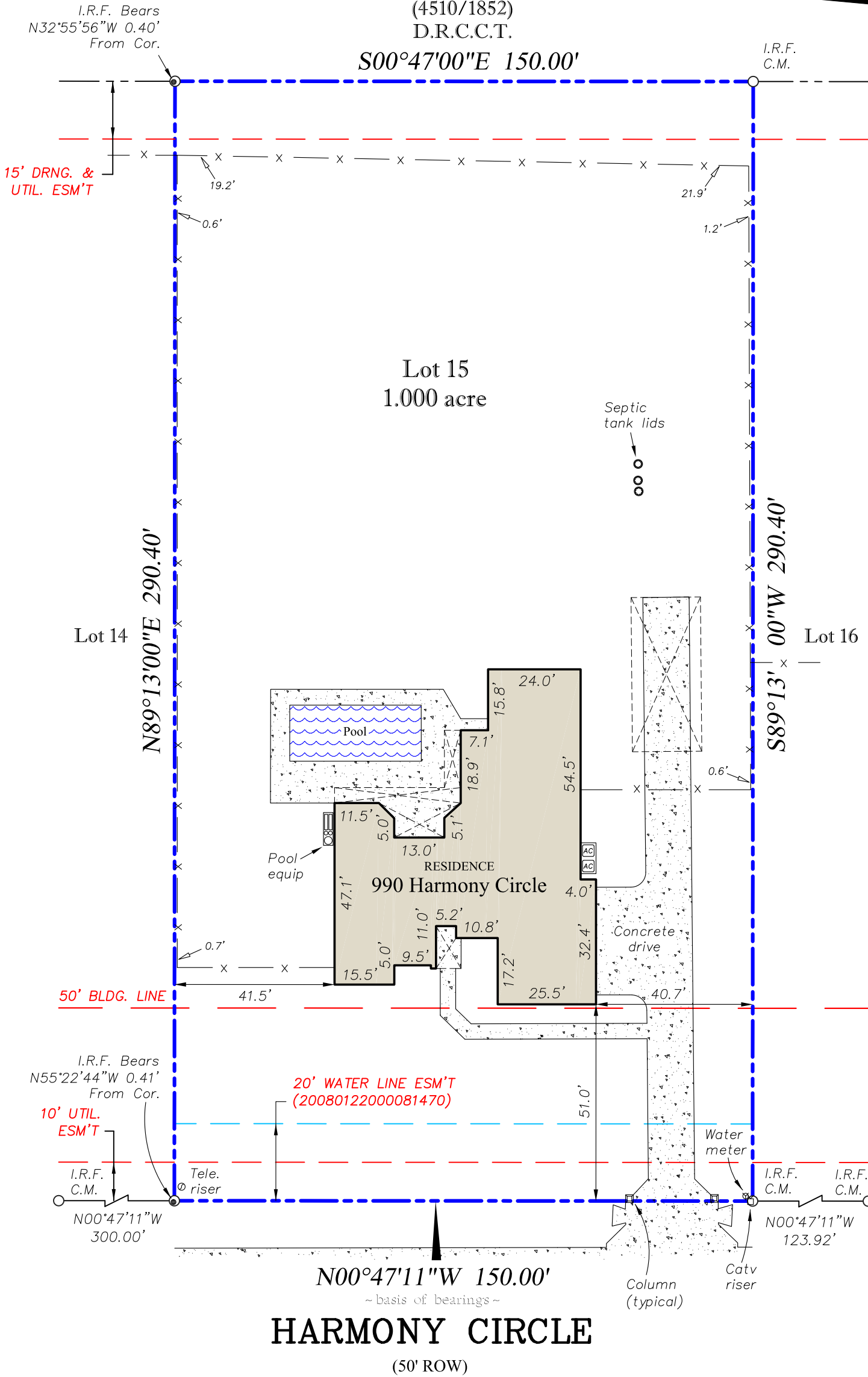


990 Harmony Circle

PROPERTY DESCRIPTION: Lot 15, HARMONY ESTATES, an Addition to Collin County, Texas, according to the map or plat thereof, recorded in Volume 2006, Page 325, of the Plat Records, Collin County, Texas.

Tom P. Airhart
& Jo Anne Airhart
(4510/1852)
D.R.C.C.T.



Notes:

- Easements as recorded in Vol. 303, Pg. 277 and Vol. 1204, Pg. 704 (20060717000988090) do not affect subject property to the best of my knowledge.

LEGEND:

- ~ Boundary Line
- OHE — ~ Overhead Utility Line
- x — ~ Fence Line

Basis of Bearings:
Bearings shown hereon are based on the above mentioned record plat unless otherwise noted.

C.M.
Controlling Monument
I.R.F.
1/2" Iron Rod Found (unless otherwise noted)
I.P.F.
1/2" Iron Pipe Found
I.R.S.
1/2" Iron Rod Set
"Old Town Surveying" (blue cap)



990 Harmony Circle
Nevada, Texas

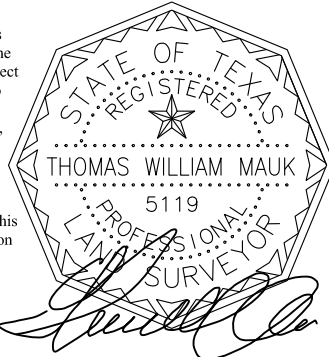


5950 Sherry Lane
Suite 300
Dallas, Texas 75225
Ph.: 214.389.5100
Fax: 214.389.5104

SURVEYORS CERTIFICATION:

The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct and to the best of my knowledge there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights of way that I have been advised of except as shown hereon. The building lines and easements shown hereon are per record map or plat unless otherwise noted. Use of this document is solely intended for the transaction reflected by the G.F. Number referenced hereon. Any other use is prohibited and at user's risk.

September 20, 2024



Old Town Surveying, LLC
Professional Land Surveyors



810 Office Park Circle., Ste. 130, Lewisville, Texas, 75057
Ph. 469-293-8079 info@oldtownsurveying.com
TFRN Number: 10194611

FLOOD NOTE: It is my opinion that the property described hereon is not within the 100-year flood zone area according to the Federal Emergency Management Agency Flood Insurance Rate Map Community-Panel No. 480180 0435 J, present Effective Date of map June 02, 2009, herein property situated within Zone "X" (Unshaded).

Tiago Title Co. G.F. No. TX24-00770DC

Fieldwork Date: 09/19/2024

Party Chief: C.E.

Job No.: 202409138

Tech: L.G.

T-47.1 RESIDENTIAL REAL PROPERTY DECLARATION IN LIEU OF AFFIDAVIT
(Provided in accordance with Texas Civil Practice and Remedies Code Section 132.001)

Date: 8-28-2025 GF No. _____
Declarant: Edward Hemphill, Kristina Malone
Description of Property: HARMONY ESTATES, LOT 15
County Collin, Texas
Date of Survey: 9-20-2024

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

The undersigned declares as follows:

1. I am an owner of the Property. (Or state other basis for knowledge of the Property, such as lease, management, neighbor, etc. For example, "Declarant is the manager of the Property for the record title owners.")
2. I am familiar with the property and the improvements located on the Property.
3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of my actual knowledge and belief, since the Date of the Survey, there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, deckings, or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):

NONE

5. I understand that Title Company is relying on the truthfulness of the statements made in this Declaration to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Declaration is not made for the benefit of any other parties and does not constitute a warranty or guarantee of the location of improvements.

6. I understand that I have no liability to Title Company should the information in this Declaration be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.
7. ALL STATEMENTS IN THIS DECLARATION ARE TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND THAT ANY PERSON INTENTIONALLY MAKING A FALSE STATEMENT MAY BE LIABLE FOR ACTUAL AND/OR PUNITIVE DAMAGES.

My name is <u>Edwards Hemphill</u>. My date of birth is _____. and my address is <u>990 Harmony Cir</u> <u>Newark Tx 75173</u>. I declare under penalty of perjury that the foregoing is true and correct. Executed in <u>Collin</u> County, State of <u>Tx</u>, on the <u>28</u> day of <u>August</u>, <u>2025</u>. Signed: _____ Declarant	My name is <u>Kristina Malone</u>. My date of birth is _____. and my address is <u>990 Harmony Cir</u> <u>Newark, TX 75173</u> CR I declare under penalty of perjury that the foregoing is true and correct. Executed in <u>Collin</u> County, State of <u>Texas</u>, on the <u>28</u> day of <u>August</u>, <u>2025</u>. Signed: _____ Declarant
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If you think you are being targeted in a wire fraud scam, immediately notify law enforcement, your broker, the title company, and your agent.

This form was prepared by

Executive Hathaway M&B Real Estate TX

Phone: 4699964212

By

Jade Rudy, Associate Broker

Jade Rudy for Russell Rhoden

By signing below, I acknowledge that I received, read, and understand this information and notice.

☒ Buyer ☐ Agent
Edwards Hemphill

☒ Buyer ☐ Agent
Kristina Malone